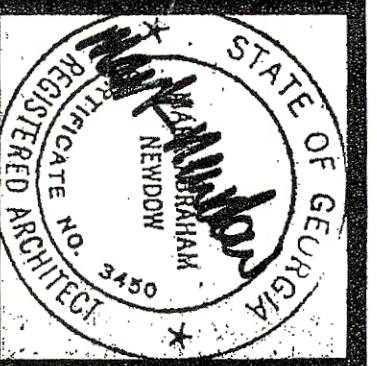


THREADMILL TRADE CENTER  
STAIR ADDITION  
ATLANTA, GEORGIA

Strong & Newdow, Inc.  
84 Peachtree Street NW  
Suite 501  
Atlanta, Georgia 30303  
404-584-0500



Revisions:

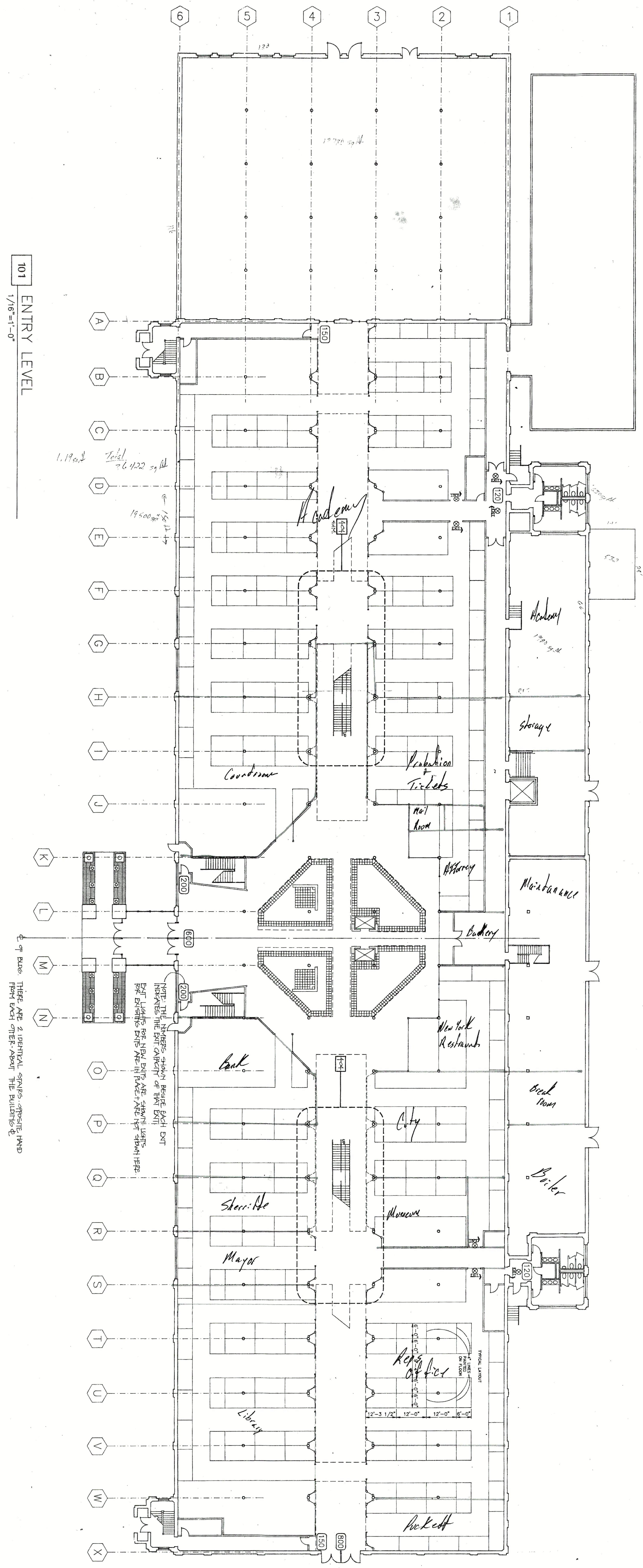
CADD Files:  
Serial No.

Sheet Title:  
ENTRY LEVEL  
PLAN

Job No.  
8502105  
Date:  
22 MAY 89

or  
A.1

101 ENTRY LEVEL  
1/16"=1'-0"



Stairs located to the left  
2 walls left



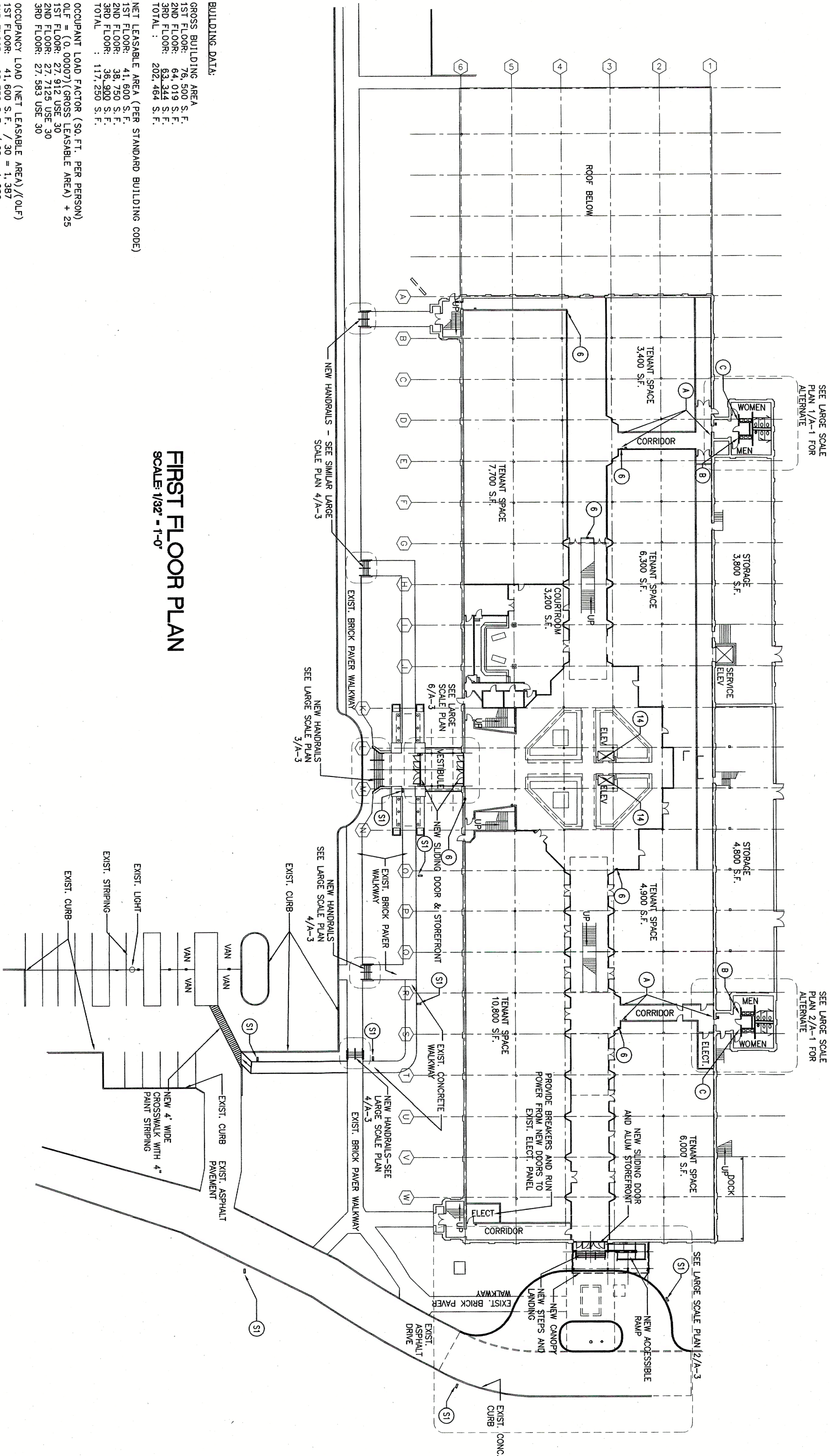
BUILDING DATA:

GROSS BUILDING AREA  
1ST FLOOR: 76,500 S.F.  
2ND FLOOR: 64,019 S.F.  
3RD FLOOR: 38,900 S.F.  
TOTAL: 222,464 S.F.  
NET LEASABLE AREA (PER STANDARD BUILDING CODE)  
1ST FLOOR: 41,600 S.F.  
2ND FLOOR: 38,750 S.F.  
3RD FLOOR: 30,250 S.F.  
TOTAL: 117,250 S.F.  
OCCUPANT LOAD FACTOR (SQ. FT. PER PERSON)  
OLF = (0.00007)(GROSS LEASABLE AREA) + 25  
1ST FLOOR: 27,912 USE 30  
2ND FLOOR: 27,712 USE 30  
3RD FLOOR: 27,583 USE 30  
OCCUPANCY LOAD (NET LEASABLE AREA)/(OLF)  
1ST FLOOR: 41,600 S.F. / 30 = 1,387  
2ND FLOOR: 38,750 S.F. / 30 = 1,292  
3RD FLOOR: 38,900 S.F. / 30 = 1,297  
TOTAL: 117,250 S.F. / 30 = 3,908  
EGRESS WIDTH: (OCCUPANCY LOAD) \* (.2)  
1ST FLOOR: 1,387 \* .2 = 256.4  
2ND FLOOR: 1,292 \* .2 = 246  
3RD FLOOR: 1,297 \* .2 = 246  
TOTAL: 3,908 \* 2 = 781.6

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH GEORGIA STATE, COBB COUNTY AND CITY OF AUSTELL CODES AND STANDARDS.
2. CONTRACTOR SHALL VISIT THE SITE PRIOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING.
3. SCALE OF PLANS, DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.
4. NOTIFY OWNER IMMEDIATELY IF ANY SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED. DO NOT DISTURB SUSPECTED HAZARDOUS MATERIALS.
5. CONDITIONS, IF ANY ARE FOUND, THAT PREVENT AND/OR OTHERWISE HINDER THE CONTRACTOR FROM CARRYING OUT THE WORK, SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTION.
6. NOTIFY OWNER PRIOR TO ANY SHUT DOWN OF POWER OR ANY OTHER UTILITIES. UTILITIES SHALL NOT BE SHUT DOWN DURING NORMAL OPERATING HOURS.
7. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME DURING CONSTRUCTION. MAINTAIN REQUIRED EMERGENCY EGRESS.
8. PROVIDE BARRIERS TO LIMIT ACCESS TO CONSTRUCTION AREAS. DO NOT LEAVE SITE WITH UNSECURED EQUIPMENT OR OTHER HAZARDS.
9. REMOVE AND LEGALLY DISPOSE OF OFF SITE ALL MATERIAL AND DEBRIS WHICH IS NOT TO BE REUSED. SITE SHALL BE CLEANED DAILY.
10. MAINTAIN SECURITY OF BUILDING. DO NOT LEAVE SITE WITHOUT VERIFYING THAT ALL OPENINGS ARE SECURE.
11. THE EXISTING BUILDING WILL BE OCCUPIED BY THE OWNER DURING CONSTRUCTION. WORK WHICH WOULD DISTURB THE NORMAL OPERATION OF TENANTS SHALL BE PERFORMED OUTSIDE NORMAL OPERATING HOURS.

FIRST FLOOR PLAN  
SCALE: 1/32" = 1'-0"



PARKING DATA:  
FOR EVERY 301-400 TOTAL SPACES, THERE ARE TO BE EIGHT THAT ARE HANDICAPPED ACCESSIBLE. FOR EVERY GROUP OF EIGHT ACCESSIBLE SPACES, ONE IS TO BE VAN ACCESSIBLE.

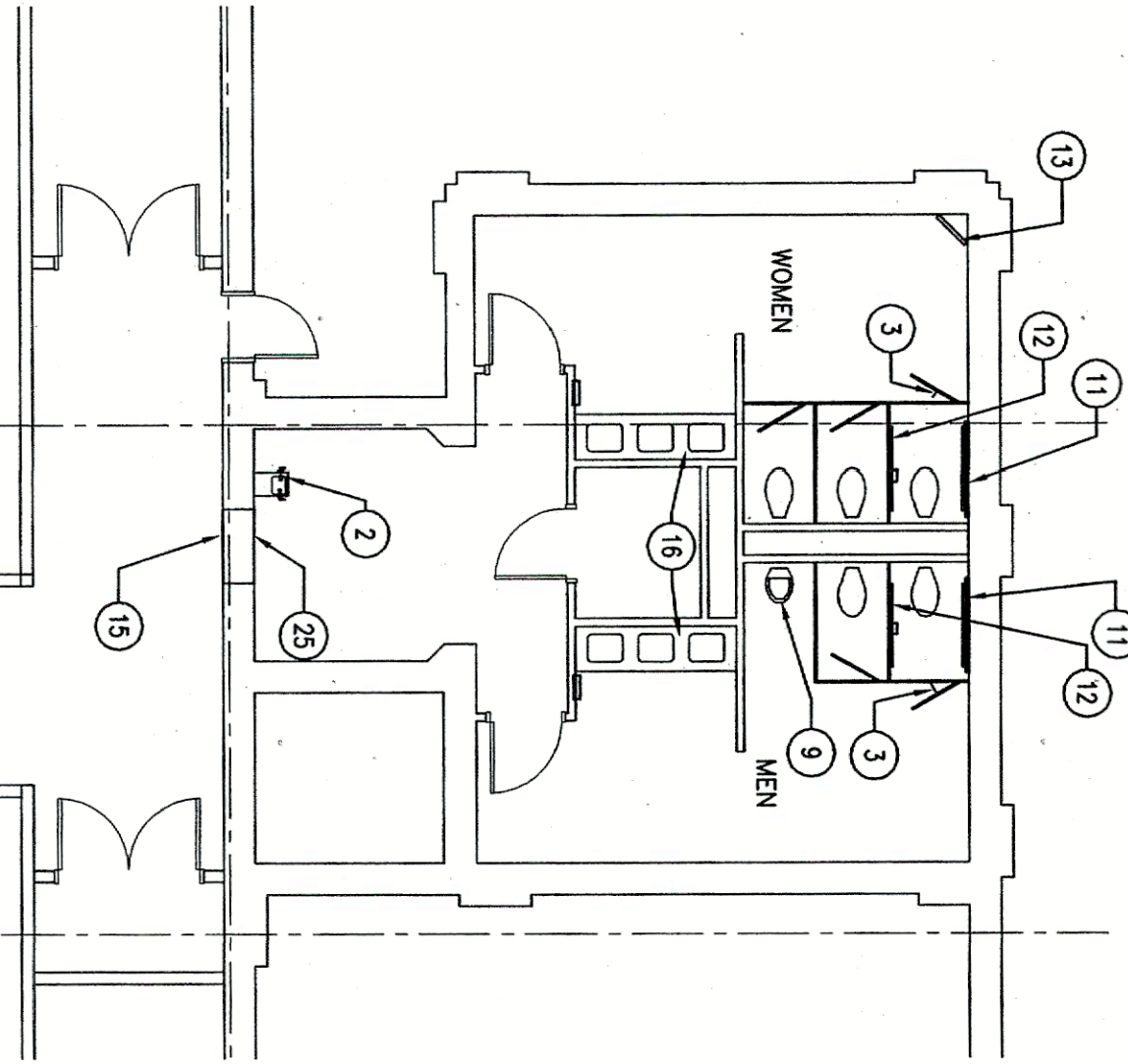
CONSTRUCTION NOTES

1. WHERE PIPING AND/OR CONDUIT PENETRATE FIRE WALLS THE CONTRACTOR SHALL PROPERLY SEAL THESE PENETRATIONS WITH APPROPRIATE FIRE RESISTANT SEALANT.
2. REPAIR OR REMOV EXISTING PAINTED SURFACES DISTURBED BY WORK. PAINT ENTIRE PLANE OF SUCH SURFACES FROM FLOOR TO CEILING AND TO NEAREST FLOOR TO CEILING VERTICAL JOINT, OR TO A DOOR FRAME IF SUCH JOINT IS NOT AVAILABLE.
3. REPAIR OR REPLACE EXISTING FLOOR FINISHES WHERE DISTURBED.
4. ELECTRICAL CONDUIT SHALL BE RUN CONCEALED FROM DEVICE TO ELECTRICAL PANEL.

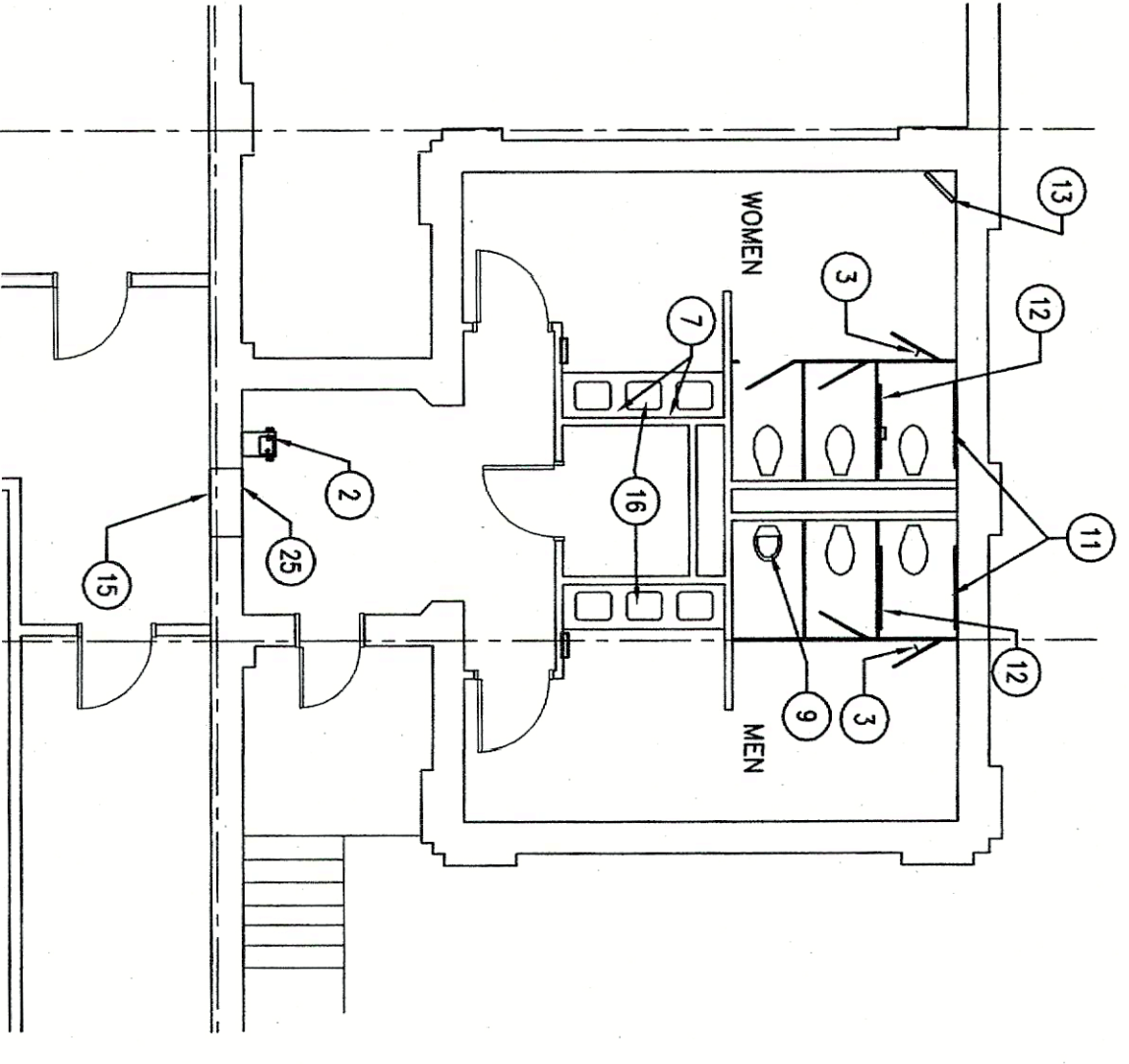
GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH GEORGIA STATE, COBB COUNTY AND CITY OF AUSTELL CODES AND STANDARDS.
2. CONTRACTOR SHALL VISIT THE SITE PRIOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING.
3. SCALE OF PLANS, DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.
4. NOTIFY OWNER IMMEDIATELY IF ANY SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED. DO NOT DISTURB SUSPECTED HAZARDOUS MATERIALS.
5. CONDITIONS, IF ANY ARE FOUND, THAT PREVENT AND/OR OTHERWISE HINDER THE CONTRACTOR FROM CARRYING OUT THE WORK, SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTION.
6. NOTIFY OWNER PRIOR TO ANY SHUT DOWN OF POWER OR ANY OTHER UTILITIES. UTILITIES SHALL NOT BE SHUT DOWN DURING NORMAL OPERATING HOURS.
7. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME DURING CONSTRUCTION. MAINTAIN REQUIRED EMERGENCY EGRESS.
8. PROVIDE BARRIERS TO LIMIT ACCESS TO CONSTRUCTION AREAS. DO NOT LEAVE SITE WITH UNSECURED EQUIPMENT OR OTHER HAZARDS.
9. REMOVE AND LEGALLY DISPOSE OF OFF SITE ALL MATERIAL AND DEBRIS WHICH IS NOT TO BE REUSED. SITE SHALL BE CLEANED DAILY.
10. MAINTAIN SECURITY OF BUILDING. DO NOT LEAVE SITE WITHOUT VERIFYING THAT ALL OPENINGS ARE SECURE.
11. THE EXISTING BUILDING WILL BE OCCUPIED BY THE OWNER DURING CONSTRUCTION. WORK WHICH WOULD DISTURB THE NORMAL OPERATION OF TENANTS SHALL BE PERFORMED OUTSIDE NORMAL OPERATING HOURS.

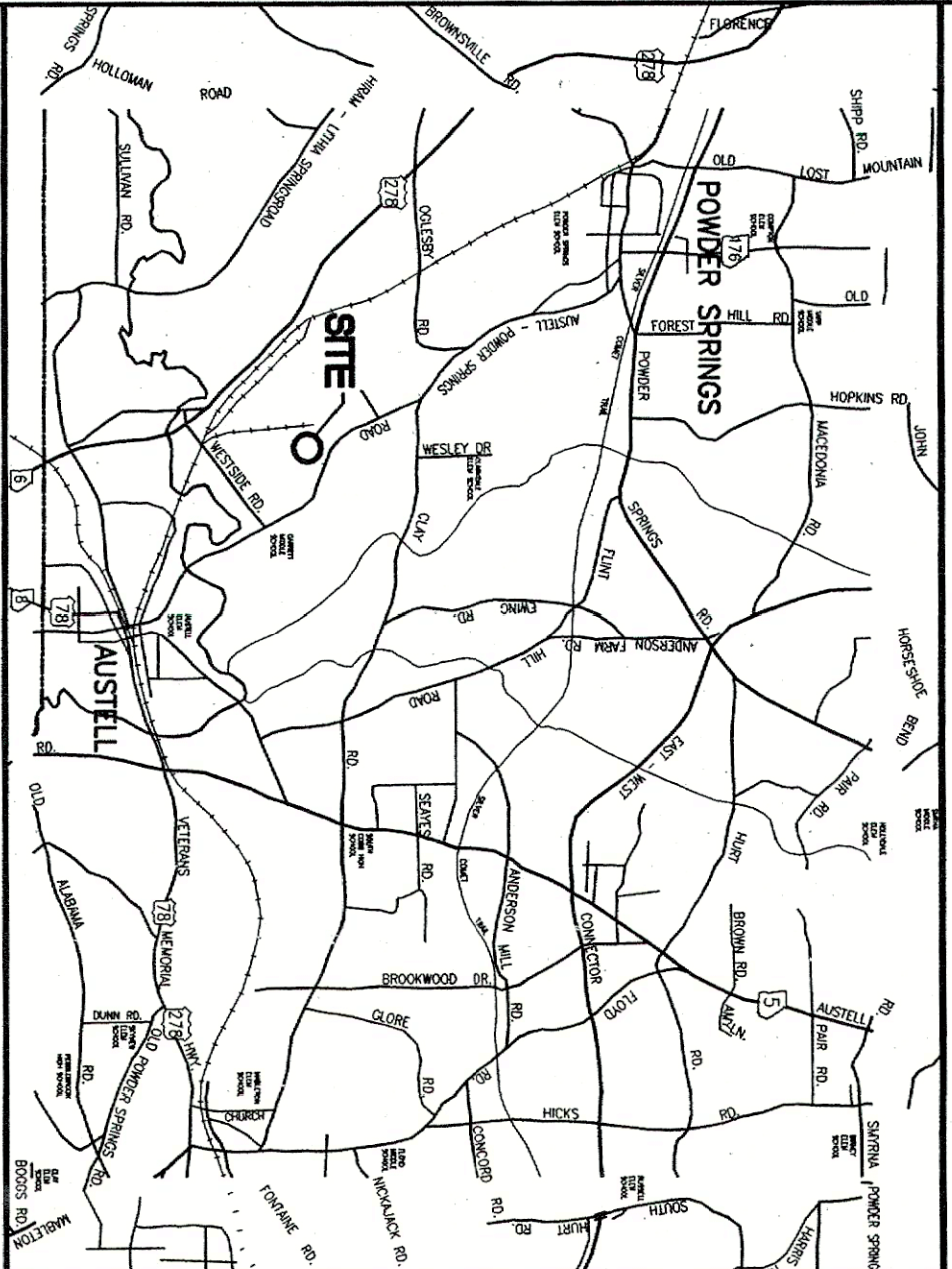
ALTERNATE  
RESTROOM PLAN-1ST FLOOR  
SCALE: 1/8" = 1'-0"



ALTERNATE  
RESTROOM PLAN-1ST FLOOR  
SCALE: 1/8" = 1'-0"



LOCATION MAP



KEYED NOTES

1. MOVE EXISTING WATER CLOSET TO 18" FROM WALL TO CENTERLINE. REMOV PLUMBING AND SUPPORT AND PATCH WALL AND FLOOR.
2. RELOCATE EXISTING DRINKING FOUNTAIN TO SET TOP OF SPOUT AT 35" AFF. REMOV PIPING AND SUPPORT. PATCH AND PAINT WALL.
3. MOVE COAT HOOK TO 47" ABOVE FINISHED FLOOR. SEAL HOLE IN WALL.
4. INSTALL SLOPED GROUT MINIMUM 6" WIDE FROM MAN FLOOR TO RESTROOM FLOOR TO PROVIDE EVEN TRANSITION. INSTALL RUBBER TILE.
5. MOVE TOILET TISSUE HOLDER TO 35" FROM BACK WALL TO FRONT OF ROLL. INSTALL MIN. 19" AFF. ALLOW MINIMUM 1" CLEARANCE TO GRAB BAR. PATCH ALL HOLES.
6. REPLACE FIRE EXTINGUISHER CABINET WITH SEMI-RECESSED CABINET MOUNTED AT 47" ABOVE FINISHED FLOOR. PROVIDE EXTINGUISHER FOR EACH CABINET.
7. RELOCATE SOAP DISPENSER TO MAXIMUM 35" AFF.
8. MOVE PAPER TOWEL DISPENSERS TO 47" ABOVE FINISHED FLOOR.
9. REPLACE URINAL AND FLUSH VALVE WITH NEW ACCESSIBLE URINAL MOUNTED 18" AFF TO RIM. REPLACE SUPPORT AS REQUIRED. PATCH WALLS.
10. REPLACE DAMAGED DRINKING FOUNTAIN WITH NEW D.F. TO MATCH EXISTING. MOUNT SPOUT HEIGHT AT 35" ABOVE FINISHED FLOOR. REMOV SUPPORT AND PLUMBING SUPPLY AND DRAIN. PATCH WALL.
11. INSTALL BLOCKING ON WALL AND INSTALL GRAB BAR AT 18" FROM WATERCLOSET CENTER. SEE GRAB BAR BLOCKING DETAIL ON A-3.
12. INSTALL NEW GRAB BAR 35" ABOVE FINISHED FLOOR. 36" LONG. LOCATE 12" FROM BACK WALL TO END. PROVIDE BLOCKING IN NON-MASONRY WALLS. LOWER TOILET TISSUE HOLDER AS NECESSARY TO PROVIDE MINIMUM 1" INCH CLEARANCE. MIN. 19" AFF. PATCH ALL HOLES.
13. REMOVE EXISTING MASON DISPENSER TO 47" AFF TO CON. SLOTS. CLOSE OPENING WITH MASONRY TO MATCH EXISTING. PATCH AND PAINT WALL.
14. ADD ADA COMPLIANT BRAILLE TO ELEVATOR CONTROL BUTTONS INSIDE CAB.
15. REMOV THRESHOLD FOR MAX. 1/2" HEIGHT IN CENTER AND MAXIMUM 1/4" LIP. GRIND DOWN EXISTING CONCRETE. INSTALL RUBBER TILE.
16. WRAP PIPES WITH ADA COMPLIANT PIPE INSULATION.

SIGNAGE KEYED NOTES

- INTERIOR SIGNS:
- A. 6" x 8" "RESTROOMS" SIGN WITH INTERNATIONAL MAN/WOMAN/ACCESSIBLE SYMBOLS AND BRAILLE.
  - B. 6" x 8" "MEN" SIGN WITH INTERNATIONAL MAN/ACCESSIBLE SYMBOLS AND BRAILLE.
  - C. 6" x 8" "WOMEN" SIGN WITH INTERNATIONAL WOMAN/ACCESSIBLE SYMBOLS AND BRAILLE.

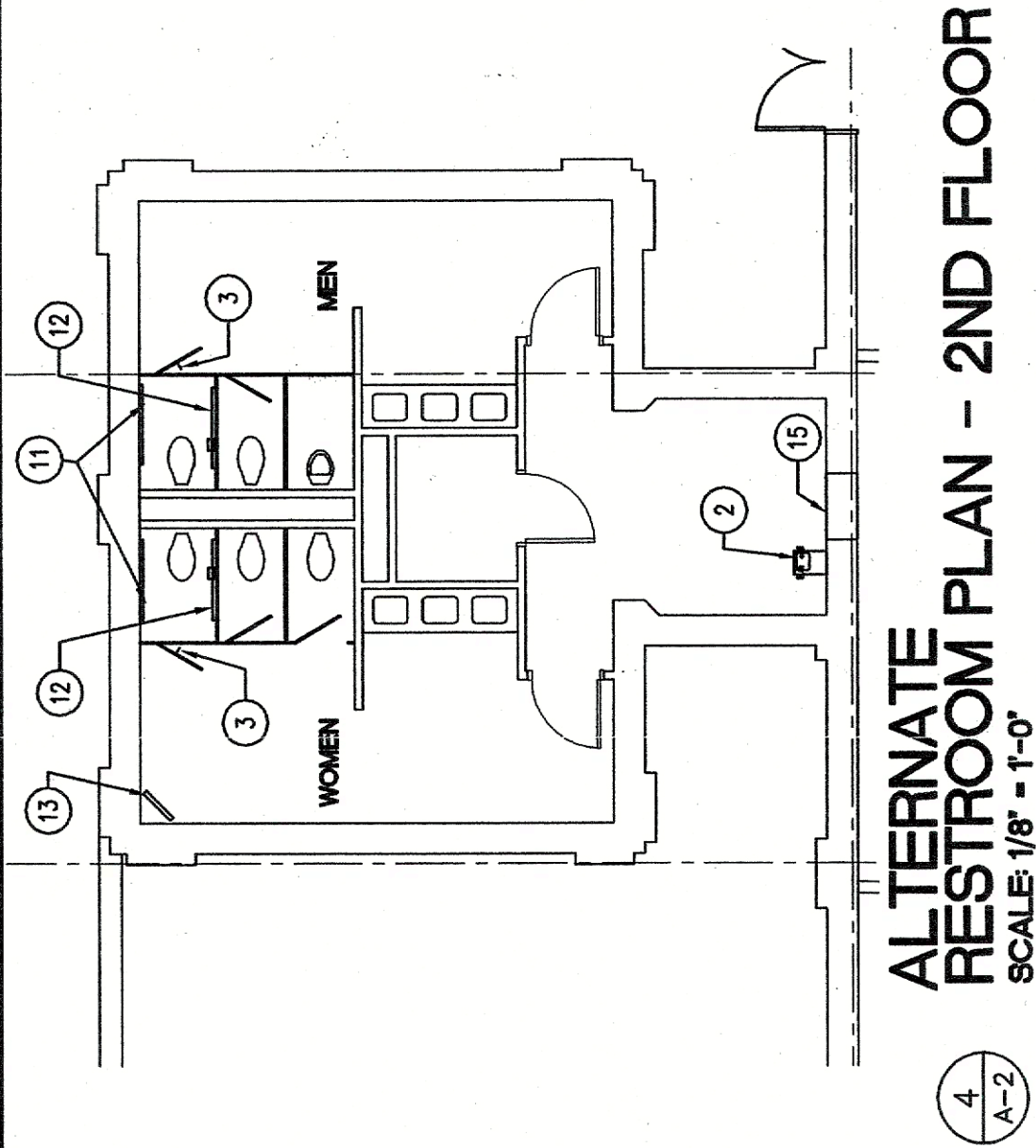
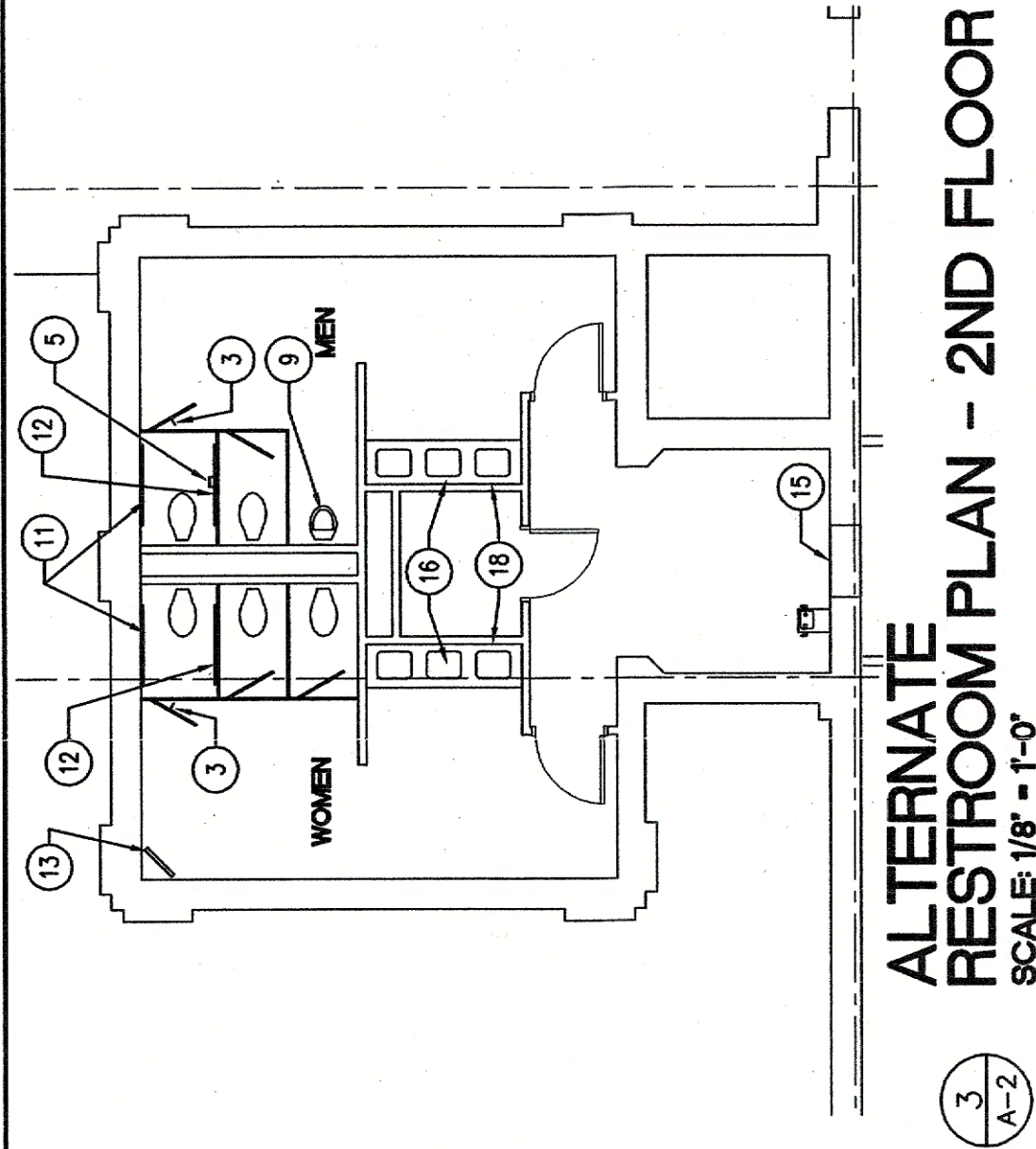
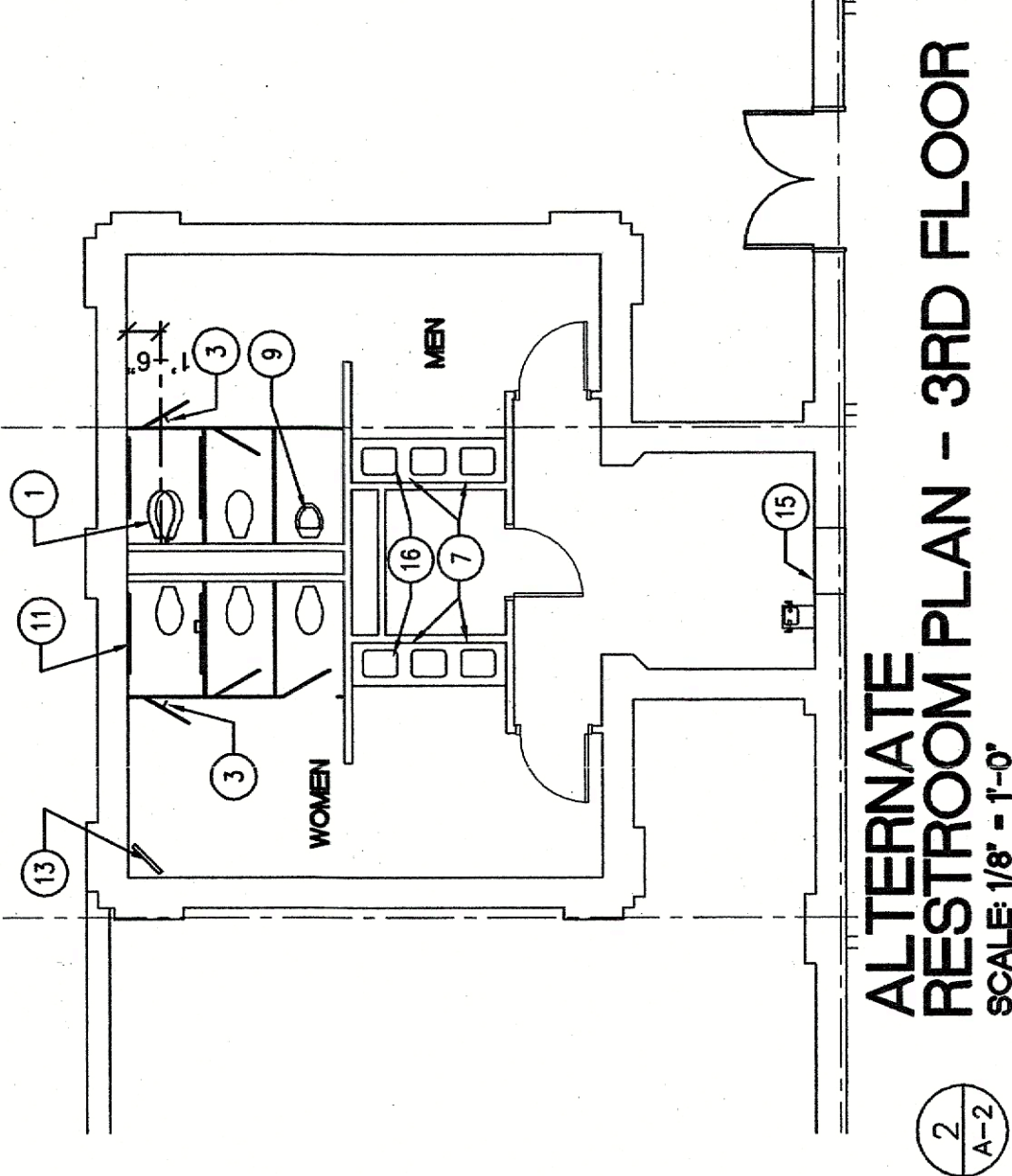
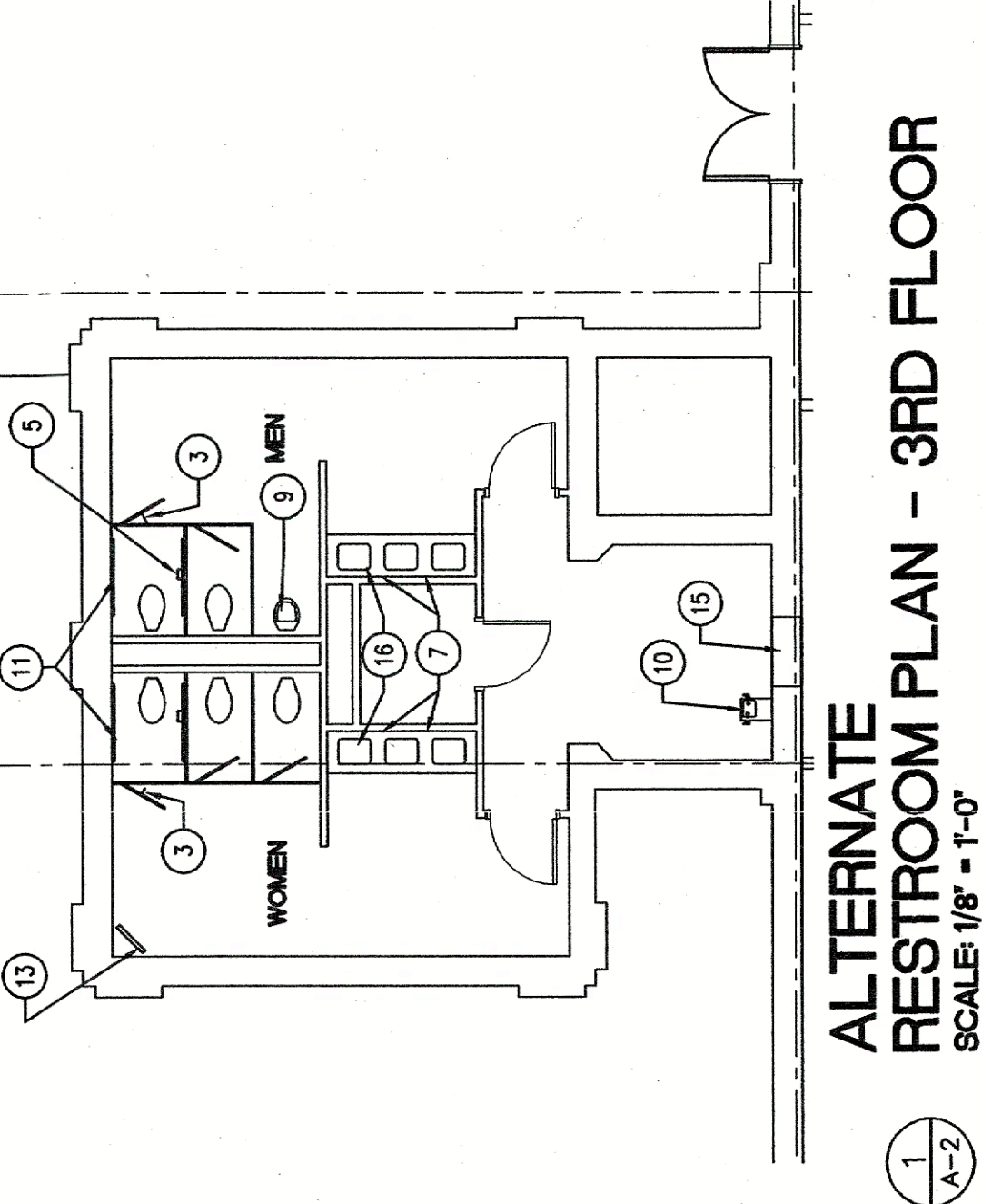
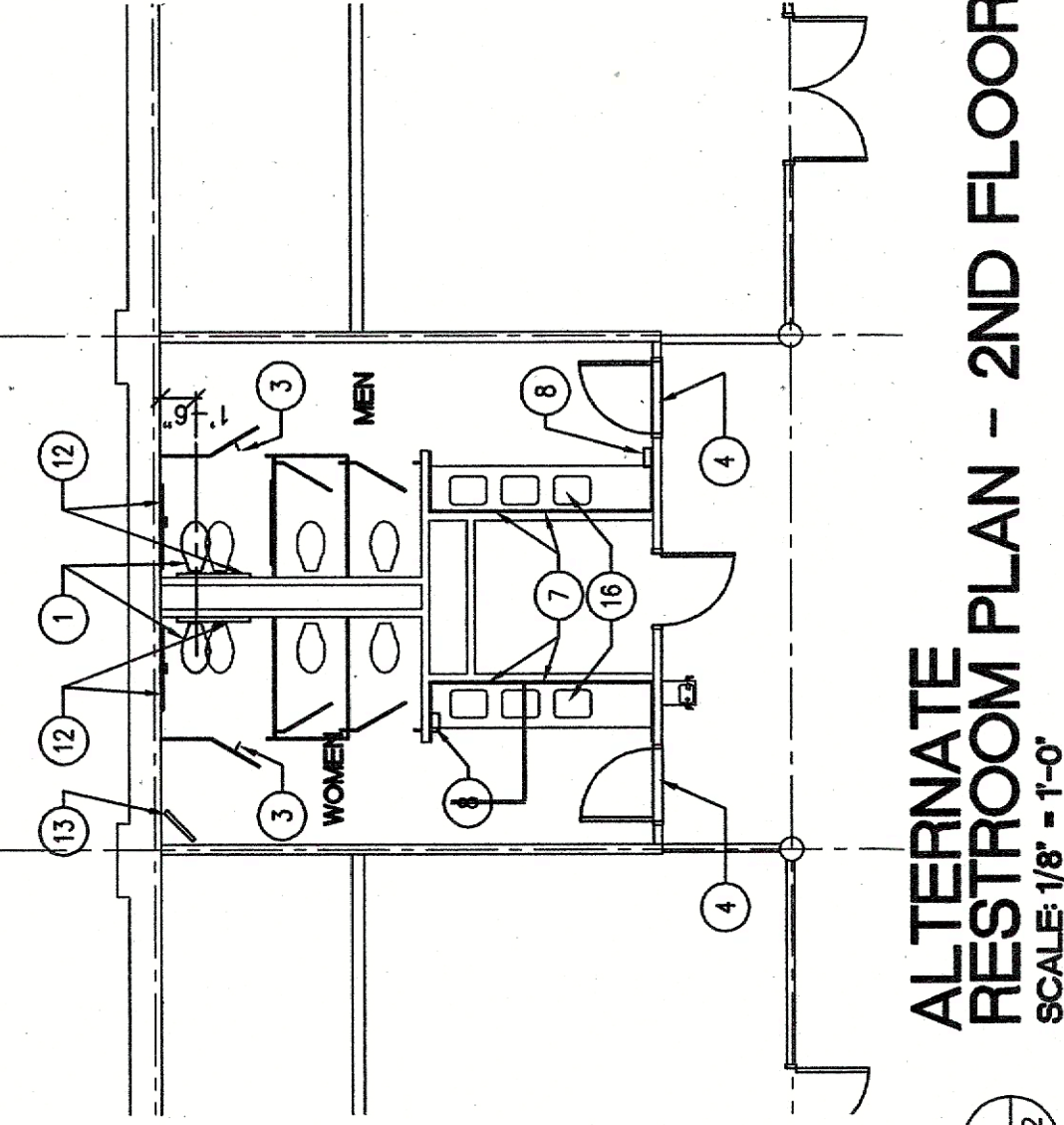
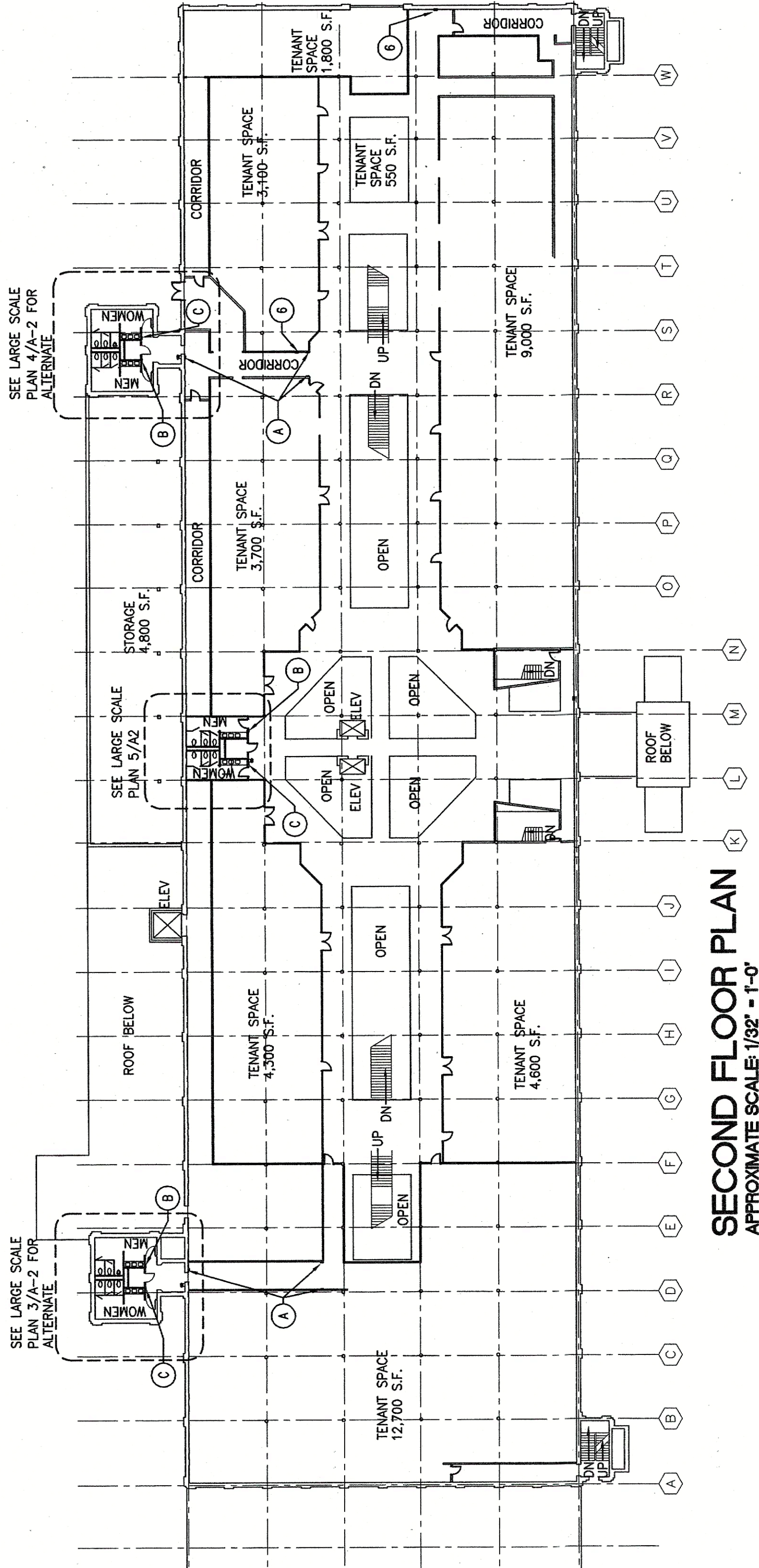
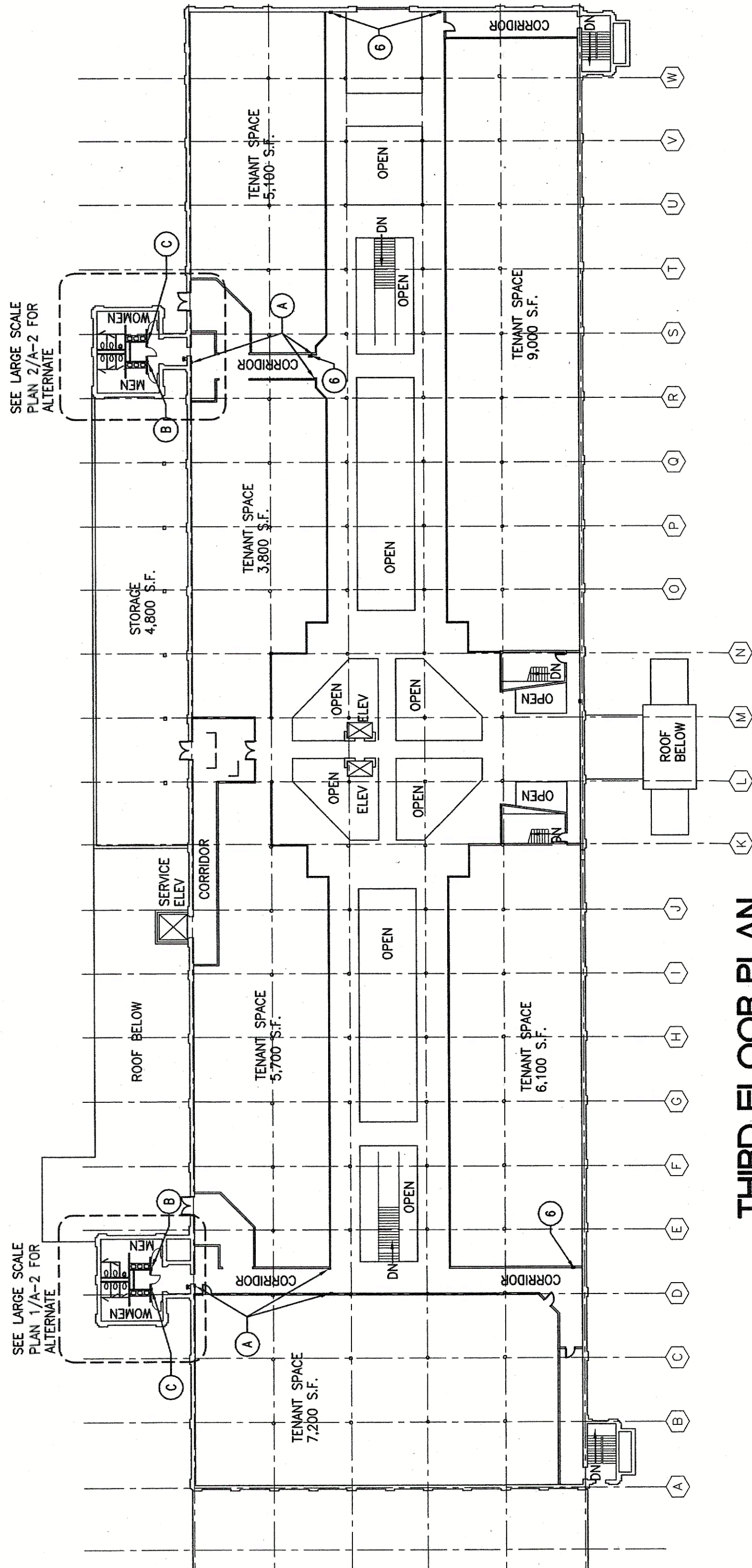
EXTERIOR SIGNS:

1. INSTALL NEW 12" x 18" "ACCESS" SIGN WITH INTERNATIONAL ACCESSIBLE SYMBOL IN BLUE/WHITE SCREEN PRINTED ON ALUMINUM. STEEL POST MOUNT. SEE DETAIL Z/A-5.

DRAWING INDEX

- |     |                               |
|-----|-------------------------------|
| A-1 | FIRST FLOOR PLAN              |
| A-2 | SECOND & THIRD FLOOR PLANS    |
| A-3 | FIRST FLOOR-LARGE SCALE PLANS |
| A-4 | DETAILS                       |
| A-5 | DETAILS                       |
- SEE PROJECT MANUAL FOR ADDITIONAL PROJECT REQUIREMENTS.





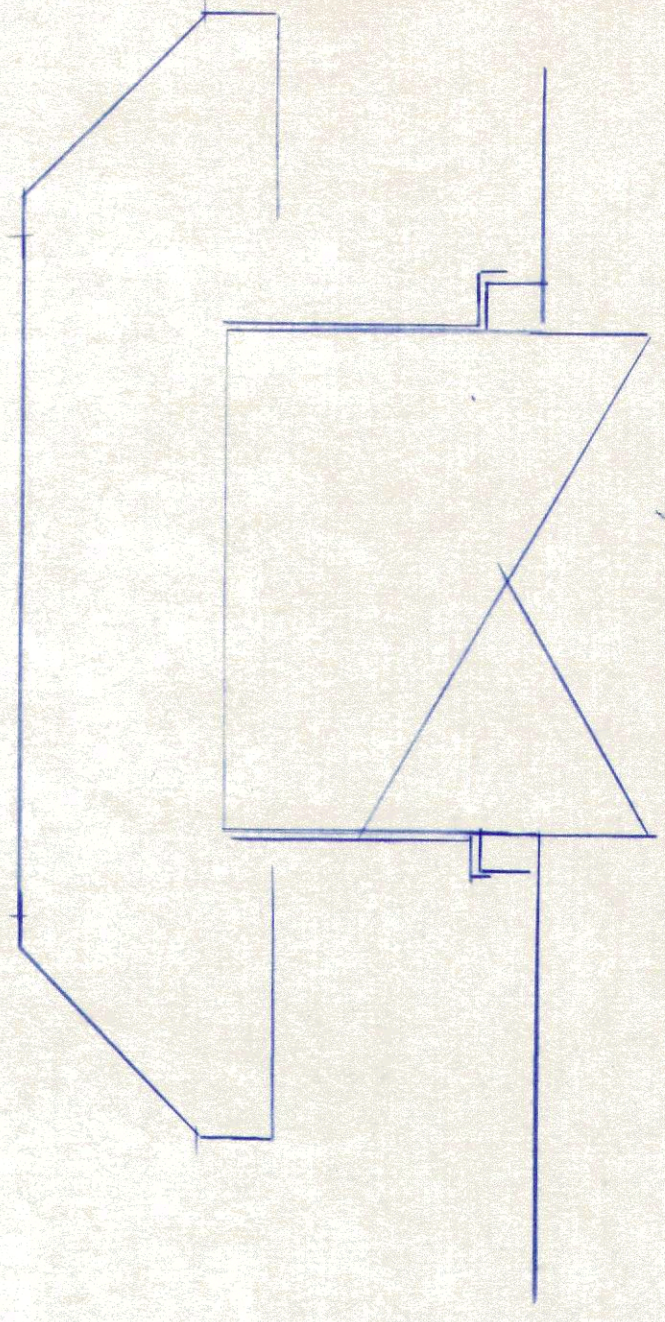
KEYED NOTES (1)

1. MOVE EXISTING WATER CLOSET TO 18" FROM WALL TO CENTERLINE. REWORK PLUMBING AND SUPPORT AND PATCH WALL AND FLOOR.
2. RELOCATE EXISTING DRINKING FOUNTAIN TO SET TOP OF SPOUT AT 35" AFF. REWORK PIPING AND SUPPORT. PATCH AND PAINT WALL.
3. MOVE COAT HOOK TO 47" ABOVE FINISHED FLOOR. SEAL HOLE IN PANEL.
4. INSTALL SLOPED GROUT MINIMUM 6" WIDE FROM MAIN FLOOR TO RESTROOM FLOOR TO PROVIDE EVEN TRANSITION. INSTALL RUBBER TILE.
5. MOVE TOILET TISSUE HOLDER TO 35" FROM BACK WALL TO FRONT OF ROLL. INSTALL MIN. 19" AFF.. ALLOW MINIMUM 1" CLEARANCE TO GRAB BAR. PATCH ALL HOLES.
6. REPLACE FIRE EXTINGUISHER CABINET WITH SEM-RECESSED CABINET MOUNTED AT 47" ABOVE FINISHED FLOOR. PROVIDE EXTINGUISHER FOR EACH CABINET.
7. RELOCATE SOAP DISPENSER TO MAXIMUM 35" AFF.
8. MOVE PAPER TOWEL DISPENSERS TO 47" ABOVE FINISHED FLOOR.
9. REPLACE URINAL AND FLUSH VALVE WITH NEW ACCESSIBLE URINAL MOUNTED 16" AFF TO RIM. REPLACE SUPPORT AS REQUIRED. PATCH WALLS.
10. REPLACE DAMAGED DRINKING FOUNTAIN WITH NEW D.F. TO MATCH EXISTING. MOUNT SPOUT HEIGHT AT 35" ABOVE FINISHED FLOOR. REWORK SUPPORT AND PLUMBING SUPPLY AND DRAIN. PATCH WALL.
11. INSTALL BLOCKING ON WALL AND INSTALL GRAB BAR AT 18" FROM WATERCLOSET CENTER. SEE GRAB BAR BLOCKING DETAIL ON A-5.
12. INSTALL NEW GRAB BAR 36" ABOVE FINISHED FLOOR. 36" LONG. LOCATE 12" FROM BACK WALL TO END. PROVIDE BLOCKING IN NON-MASONRY WALLS. LOWER TOILET TISSUE HOLDER AS NECESSARY TO PROVIDE MINIMUM 1 INCH CLEARANCE. MIN. 19" AFF. PATCH ALL HOLES.
13. MOVE FEMINE NAPKIN DISPENSER TO 47" AFF TO COIN SLOTS. CLOSE OPENING WITH MASONRY TO MATCH EXISTING. PATCH AND PAINT WALL.
14. ADD ADA COMPLIANT BRAILLE TO ELEVATOR CONTROL BUTTONS INSIDE CAB.
15. REWORK THRESHOLD FOR MAX. 1/2" HEIGHT IN CENTER AND MAXIMUM 1/4" UP. GRIND DOWN EXISTING CONCRETE. INSTALL RUBBER TILE.
16. WRAP PIPES WITH ADA COMPLIANT PIPE INSULATION.

SIGNAGE KEYED NOTES (1)

- INTERIOR SIGNS:
- A. 6" x 8" "RESTROOMS" SIGN WITH INTERNATIONAL MAN/WOMAN/ACCESSIBLE SYMBOLS AND BRAILLE.
  - B. 6" x 8" "MEN" SIGN WITH INTERNATIONAL MAN/ACCESSIBLE SYMBOLS AND BRAILLE.
  - C. 6" x 8" "WOMEN" SIGN WITH INTERNATIONAL WOMAN/ACCESSIBLE SYMBOLS AND BRAILLE.
- EXTERIOR SIGNS:
- S1. INSTALL NEW 12" x 18" "ACCESS" SIGN WITH INTERNATIONAL ACCESSIBLE SYMBOL IN BLUE/WHITE SCREEN PRINTED ON ALUMINUM. STEEL POST MOUNT. SEE DETAIL 2/A-5.





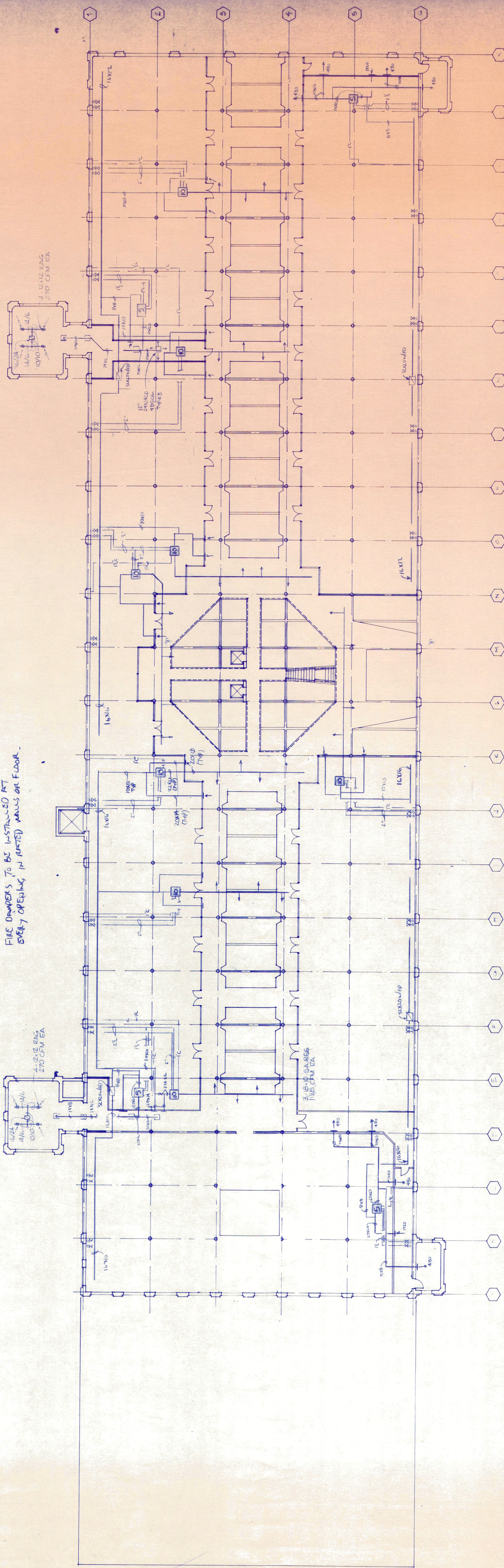
INTAKE HOOD FOR OR

N.T.S.

FIRE DAMPERS TO BE INSTALLED AT  
EVERY OPENING IN PARTIAL WALLS OR FLOOR.

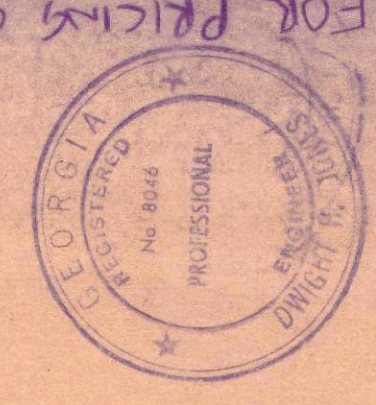
4-12x12 RAG  
0100-1/4  
270 CFM EA

4-12x12 RAG  
0100-1/4  
270 CFM EA



THIRD FLOOR PLAN

1/16" = 1'-0"



FOR PERMITS ONLY

Historic Rehabilitation of the  
COATS & CLARK THREADMILL BUILDING

Austell, Georgia

Stang & Newdow, Inc.

84 Peachtree Street NW  
Suite 301  
Atlanta, Georgia 30303

404-584-0500

Architects

Revisions:

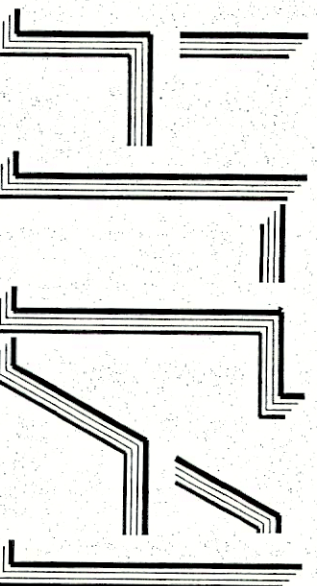
Sheet Title:  
TYPICAL  
FLOOR  
PLAN

Job No.

Date:  
3-21-86

M-3





**HERRING TROY ASSOCIATES, PC**  
3405 PLEASANT ROAD, NE  
ATLANTA, GEORGIA 30305  
404 233 3533  
FAX 281 5768

I certify that I have prepared these plans in  
accordance with the Georgia Professional  
Engineers Act and the Georgia Professional  
Engineers Board Rules and Regulations.  
I am a duly Licensed Professional Engineer  
in the State of Georgia.  
My License Number is 10000.

**NOTES:**  
1. All work shall be in accordance with the  
Georgia Professional Engineers Act and the  
Georgia Professional Engineers Board Rules  
and Regulations.  
2. All work shall be in accordance with the  
Georgia Professional Engineers Act and the  
Georgia Professional Engineers Board Rules  
and Regulations.  
3. All work shall be in accordance with the  
Georgia Professional Engineers Act and the  
Georgia Professional Engineers Board Rules  
and Regulations.  
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9. All work shall be in accordance with the  
Georgia Professional Engineers Act and the  
Georgia Professional Engineers Board Rules  
and Regulations.  
10. All work shall be in accordance with the  
Georgia Professional Engineers Act and the  
Georgia Professional Engineers Board Rules  
and Regulations.

**ISSUES:**

**REVISIONS:**

**PROJECT:**

**CARAUSTAR**  
THREADMILL  
5000 AUSTELL POWDER SPRINGS ROAD  
AUSTELL, GEORGIA 30106

**PROGRAM TITLES:**

**CORP OFFICES**

**3RD FLOOR**

**CONTRACT DOCUMENTS**

**JOB NUMBER**  
412.001.03

**DATE**  
26 JAN 04

**DRAWN BY**  
HET/SK/TLE

**PROJECT NUMBER**  
A-1.4

